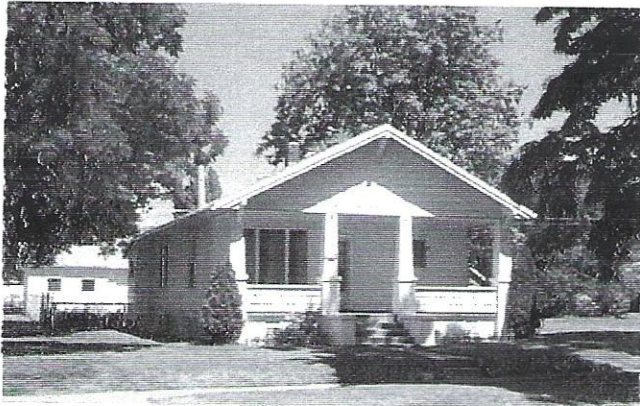
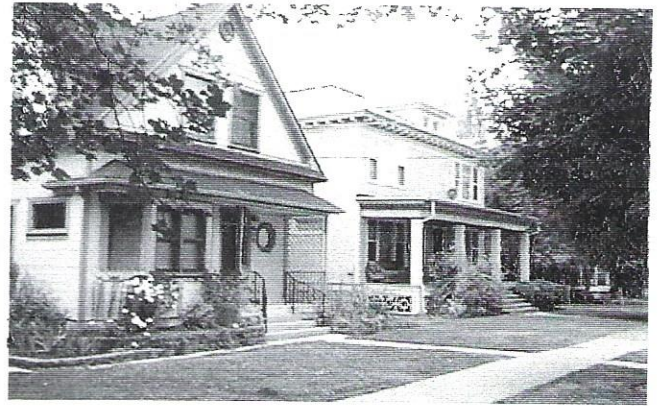


RESIDENTIAL ARCHITECTURAL STANDARDS



A one-story, historic Missoula cottage



A cottage and a duplex are compatible neighbors

Purpose

The Meadows is a new traditional neighborhood development. Its Architectural Standards establish a minimum level of design quality and compatibility for residential buildings and improved open space. Each building and landscape requires an appropriate selection and application of materials. The Standards are intended to respect the historical character of Missoula through proper building massing, siting and material use which reflect important aspects of Montana's traditional architecture.

The Standards are organized into Permitted Site and Building Materials, and Materials Applications, Configurations and Requirements. The Standards apply to all residential buildings, accessory structures and related site improvements.

Building and Zoning Code Compliance

In the application of these Architectural Standards, all design and construction shall comply with the City's Building Code and the Missoula City Zoning Ordinance and Subdivision Regulations.

Design Review Process

The application of these Architectural Standards shall be subject to the approval of the Meadows Architectural Committee (MAC), which shall also review the installation of exposed solar heating,

air conditioning and other mechanical equipment; antennas, satellite dishes, meters and other visible site and non-architectural building components. Exceptions to the Standards may be granted based on context and architectural merit. The MAC reserves the right to alter or amend these Standards.

Permitted Site & Building Materials

Visible Building Foundations, Wall Cladding, Moldings, Brackets and Trim.

- Concrete, cementitious stucco, brick or stone masonry foundations and veneers.
- As a perimeter screen at pier-supported foundations: wood lattice of the same material as the siding material above.
- Solid, laminated or composite wood or cementitious (e.g., Hardiplank) shingles, shakes, and horizontal or vertical siding, panels and soffits.
- Brick or stone masonry, cementitious stucco.
- Revere "Sovereign" or equal vinyl siding with solid or composite wood moldings and trim only.
- Solid, laminated, composite or synthetic wood moldings and trim.
- Cedar or other solid, clear wood materials may be used unfinished.

RESIDENTIAL ARCHITECTURAL STANDARDS

Exposed Roofing, Awnings, and Related Components

- 25 year minimum architectural composition shingles, concrete, slate or cedar shingles and shakes.
- Galvanized or prefinished metal, copper or terne metal corrugated or narrow-profile standing seam roofing, flashing, and other roofing components.
- Galvanized or prefinished metal, copper or terne metal gutters and downspouts.

Awnings

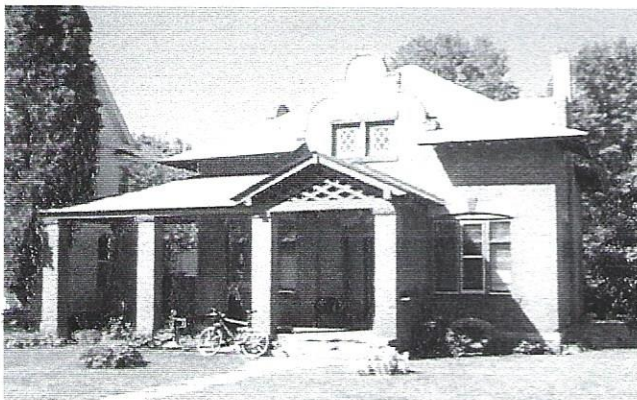
- Wood or solid color woven, natural fabric awnings.

Exposed Chimney or Flue Enclosures

- Brick, stucco or stone masonry, wood shingles or siding that matches the primary house cladding.
- Exposed black or gray round metal flue pipes.

Windows, Skylights, Entrances and Accessories

- Natural, stained, painted or clad wood, solid vinyl windows and door frames and sashes.
- Sliding glass doors shall not be used where directly visible from any public right-of-way.
- Clear or 'Low E' glazing only shall be used.
- Entry and overhead doors shall be stained, painted or clad, solid or composite wood, embossed metal, fiberglass or graphite composition.
- Window shutters shall be stained, painted or clad wood, fiberglass, or other solid material.
- At the primary street facade, the visible interior



Imported styles combined with local design traditions such as deep roof overhangs

window treatment shall be consistent and harmonize with the surrounding exterior facade.

Trellises, Decks, Stairs, Stoops, Porches, Railings, Balconies and other Architectural Components.

- Concrete, brick or stone masonry, stucco, wood, fiberglass or polymer columns, posts, arches and other vertical and elevated architectural components.
- Solid or synthetic wood, concrete, brick or stone masonry decks and other horizontal components.
- All railings, guards and balustrades shall be concrete, brick or stone masonry, stucco, wood, synthetic wood, welded steel or iron.

Landscape/Retaining Walls and Fences

- Brick, concrete and stone masonry
- Architecturally finished exposed concrete
- Cementitious stucco veneer
- Wood or synthetic wood pickets, lattice and solid boards
- Painted or coated welded steel or iron

Private Driveways, Curbs and Walks

- Private driveways that terminate in a public street, and private walks visible from a public right-of-way shall be concrete, finished to match adjoining public sidewalks, or embossed (stamped) concrete, brick, stone or concrete unit masonry.
- The finish materials, colors and patterns for private driveways and walks visible from a public right-of-way shall be approved by the MAC, and shall be finished prior to building occupancy.

Building and Site Material Colors

- Exterior finish colors shall be approved by MAC.

RESIDENTIAL ARCHITECTURAL STANDARDS

Materials Applications, Configurations and Requirements

Building Foundations and Walls

- A single cladding material shall be used for at least 60% for all exterior walls visible from the public right-of-way.
- Vertical material separations shall extend at least 18" around corners and returns (Figures 1a and 1b).
- A minimum 4" wide wall corner (except at mitered corner siding), water table, cornice, roof rake and eave trim (except at exposed rafter tails) shall run the full height and breadth of each facade, and shall be flush or protrude out beyond the surrounding cladding.
- Maximum horizontal cladding exposure shall be 6", vertical cladding exposure shall be 8".
- Heavier appearing materials shall be used only below lighter appearing materials (Figures 2a and 2b).

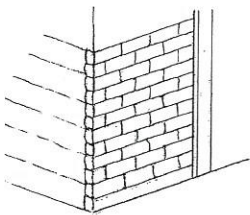


Figure 1a: Thin veneer with no side return is not allowed

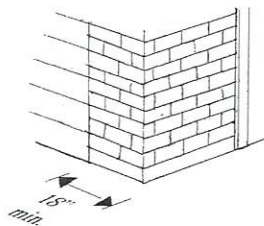


Figure 1b: Allowed

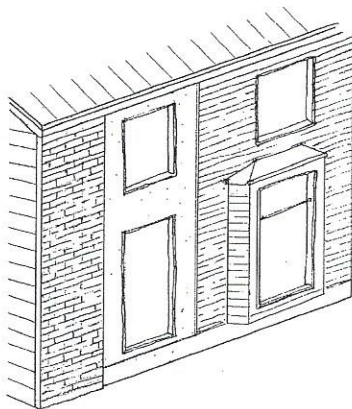


Figure 2a: Heavy material above or along lighter not allowed

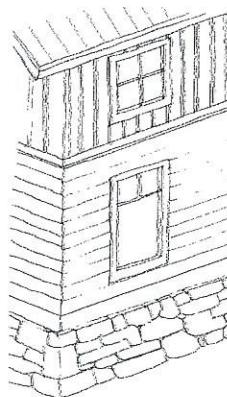


Figure 2b: Allowed

Roofs, Awnings, Gutters and Roofing Accessories

- Main roof slopes shall be 5:12 minimum to 14:12 maximum with symmetrical gable, gambrel or hip configuration.
- Special architectural structures such as towers, elevated decks and cupolas may exceed the maximum height limit provided a cornice or other horizontal architectural detail is articulated at the height limit line and the structure's total horizontal area does not exceed 200 SF.
- Eave lines shall be continuous except at sheds



Gable dormer with brackets

and dormers (see page 24).

- Rafters may be exposed or soffit (see page 24).
- Soffits shall follow eave and rake lines except at fully articulated eave/soffit returns (see page 24).
- At least one roof gable or dormer (shed, hip or gable) is required on the dominant roof plane facing the primary public street.
- Porch and dormer shed roofs shall be minimum 3:12 slope, and shall be attached to the main roof.
- Flat roofs shall be limited to 20% of the building foot print. The flat roof shall be accessible from an occupiable space or shall be concealed from the public right-of-way by sloped roofs or parapets.

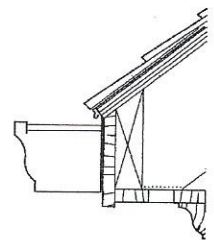


Figure 3a: ogee gutter

RESIDENTIAL ARCHITECTURAL STANDARDS



A Victorian house faces its porch to the street corner beside a craftsman with a deep setback

- Gutters shall be round or ogee profile (Figure 3a).
- All roof-mounted equipment, except for vents, flues and other building code-required components, shall not be visible from any public street.
- Eaves and rakes shall overhang at least 12 inches from the wall face (Figures 3b and 3c), except at traditional “Salt Box”-style house rakes and eaves.
- Horizontal eave soffits shall only be used with extended horizontal returns at the gable ends (see page 24).

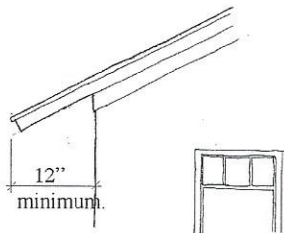


Figure 3b

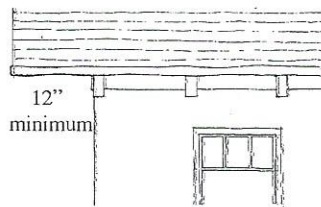


Figure 3c

Windows, Glazing, Entrances and Accessories

- Windows shall be primarily square or vertical shaped with 10% maximum circular, hexagonal, octagonal or other special window configurations.
- Horizontal window openings exceeding 1.5:1 width by height and single windows exceeding 1:4 width by height shall be prohibited. (See page 23).
- Bay window enclosures shall, at minimum, extend down to the adjacent floor level with visible external support or shall be supported by a foundation.
- On each street facade, total wall area glazing, including muntins and stops, shall not comprise more than 55% or less than 18%.
- Profiles of window muntins shall extend out beyond the exterior glass surface.
- Door and window shutters shall be sized to cover the complete opening (Figures 4a and 4b).
- No single lite or pane of glass visible from a public street shall be greater than 24 square feet in area.
- Adjoining windows may be grouped along the same horizontal plane provided each is separated from the adjoining unit by 3-1/2” minimum width vertical trim.
- Windows and doors shall be surrounded with a minimum 2-1/2” minimum width trim applied flush or projected out beyond the finished wall surface.

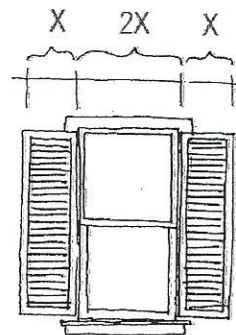


Figure 4a: Allowed

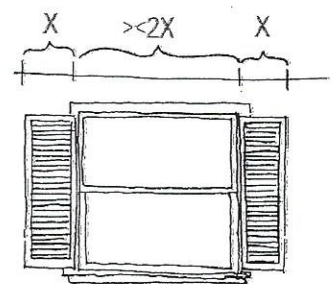
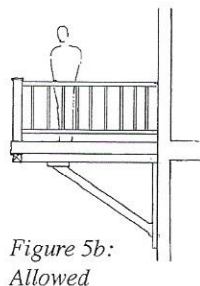
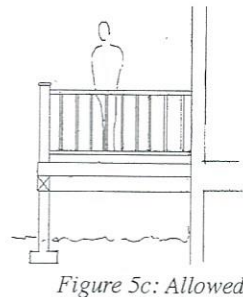
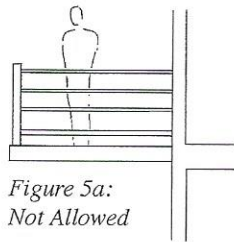


Figure 4b: Not Allowed

RESIDENTIAL ARCHITECTURAL STANDARDS

Trellises, Decks, Stairs, Stoops, Porches, Railings, Balconies and other Architectural Components.

- All structures projecting over 16" from the connecting wall facade, whether cantilevered or direct bearing, shall be visibly supported by vertical, inclined and/or horizontal elements such as brackets, columns, beams (Figures 5a, 5b and 5c) that are sized proportionally to the structure above. However, whether solid or encased, such elements shall be a minimum of 5-1/2" in cross sectional area.
- The open underside of first floor porches and decks shall be screened with a material compatible with the building's walls. (Figure 5c).
- Where exposed to a public right-of-way, balustrades and guards at stair, landing and deck railings shall be vertically configured (Figures 5a, 5b, and 5c).
- Porches shall be an average minimum of 84" deep.



Landscape/Retaining Walls and Fences

- Maximum height of walls and fencing shall meet the regulatory agency requirements.
- Freestanding landscape and retaining walls shall be minimum 8" nominal thickness with a finished top course, cap or other visible, continuous termination.
- Landscape and retaining walls shall generally

provide compatibility with the adjoining house materials.

- Fencing shall be configured in predominately vertical elements.



Small corner cafe fits into residential neighborhood

Private Driveways and Walkways

- Private driveways that terminate in a public street, and private walks visible from a public right-of-way shall be concrete, finished to match adjoining public sidewalks, or embossed (stamped) concrete, brick, stone or concrete unit masonry.
- The finish materials, colors and patterns for private driveways and walks visible from a public right-of-way shall be approved by the MAC, and shall be finished prior to building occupancy.

Private Exterior Site and Building-Mounted Lighting Visible from the Public Right-of-Way

- Lighting and related component shall be selected from the MAC list of approved luminaires. Unlisted lighting selections shall be submitted to MAC for approval.
- All lamps shall consist of incandescent, halogen or metal halide. Other lamps shall be submitted to MAC for approval. Sodium or mercury vapor lamps shall be prohibited.
- Lighting shall be selected, installed and

RESIDENTIAL ARCHITECTURAL STANDARDS

controlled to prevent intrusive illumination on adjacent buildings, lots and/or public rights-of-way.

- Lighting that exceeds 1.5 footcandle illumination beyond the source lot or building shall be submitted to MAC for approval with a site plan that shows projected lighting photometrics,

Repetitive House Designs

- The use of identical or closely similar house street facades, except for attached units, shall not be allowed within 250' in any direction, unless approved by the MAC. The intent of this rule is to avoid repetitive facades where the same or similar plans are built in the same visual context on the same block.

Garages, Carports and Storage Sheds and Enclosures

- Design, materials and finish shall be regulated by the same standards for the primary structure, and shall be compatible with and complement the primary house.
- Where visible from a public street, garage and other overhead doors shall be limited to a maximum 9 feet wide by 9 feet high.
- Sheds and enclosures shall be placed on the lot to minimize visibility from adjacent street(s) and houses.



The porch helps this duplex look like a single foursquare house

THE MEADOWS ARCHITECTURAL STANDARDS